

Southwark Urban Logistics

MANDELA WAY

A new four storey adaptable
industrial warehouse providing units from
32,411 sq ft to 167,660 sq ft

Under Construction
Completion in Autumn 2025



London
Urban Logistics

SE1 5SZ

///MANAGE.DOING.VALUE
LONDONURBANLOGISTICS.COM

Contents.

Big capacity located in central London.

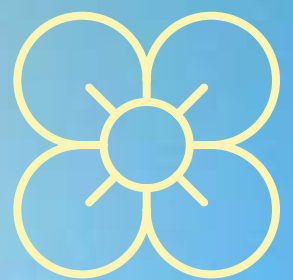
Location

Reach over 800,000 residents within a 15 minute drive time plus smooth access to the City and West End.



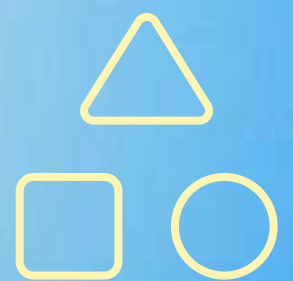
Sustainability

Brand new sustainable industrial/warehouse scheme in Bermondsey focusing on employee wellbeing with communal breakout areas & eco design.



Flexibility

Adaptable building that can cater to a number of different industrial/warehouse occupiers.



Unrivalled location.

Southwark Urban Logistics

Southwark Urban Logistics is located within one of central London's most established industrial areas - already home to several logistics operators including Royal Mail, DPD, Yodel and more.



Nine Elms

Hyde Park

West End

Westminster

South Bank

Holborn

City of London

Elephant and Castle

Elephant & Castle Underground

Borough Underground

London Bridge Station

Mandela Way

Royal Mail

FedEx

dpd

YODEL

A2 Old Kent Road

TESCO



Positioned to deliver.

Southwark Urban Logistics is located immediately off the A2, perfectly positioned for inbound transportation and delivery into central London locations.

By road

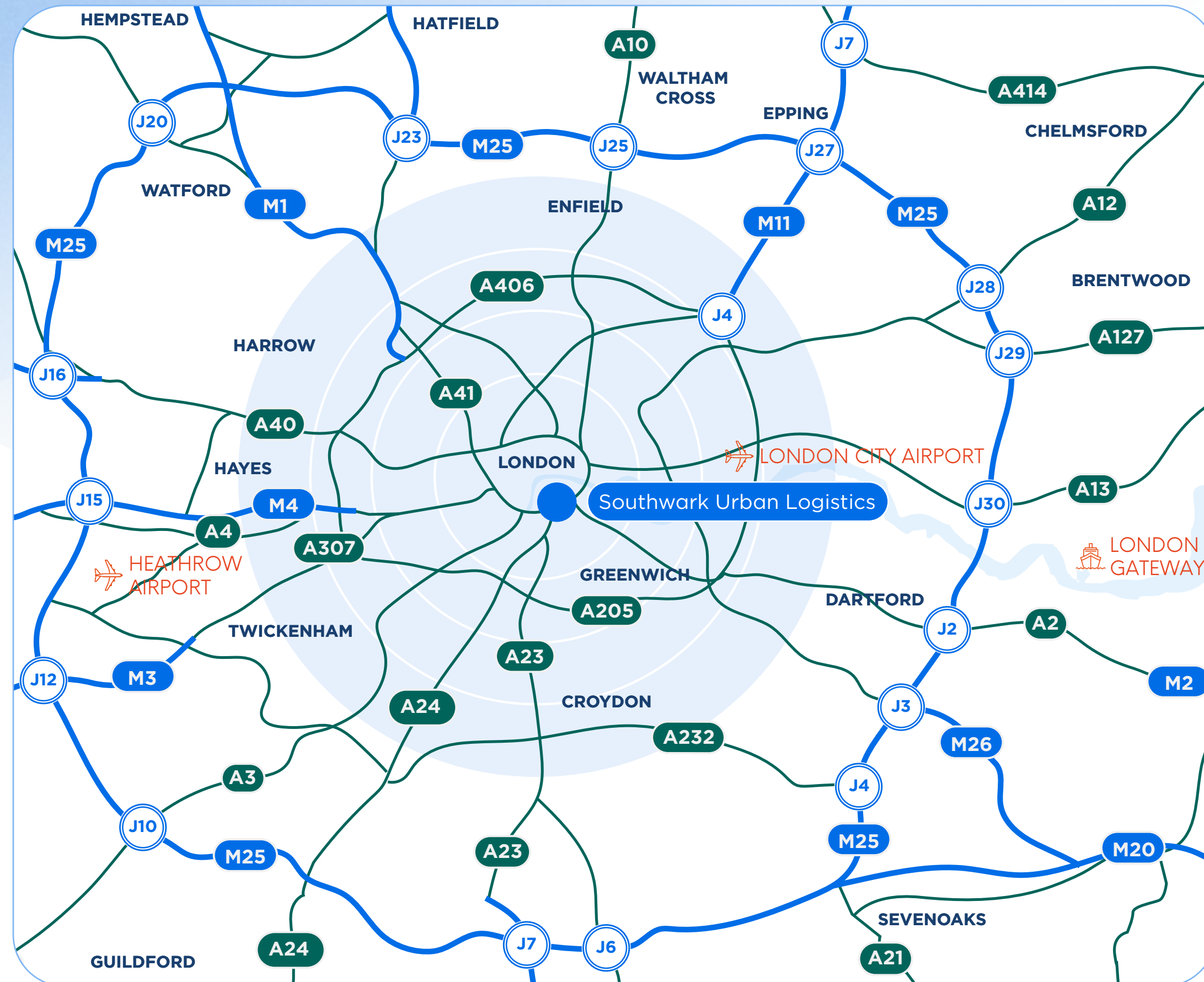
	Miles
A2	0.1
A40	6.2
A205	4.4
A406	8.8
M4 J1	10.2

By locations

	Miles
City of London	1.5
Borough Market	1.8
Farringdon	3.9
Battersea Park	4.1
Mayfair	4.6

By rail

	Miles
Elephant & Castle	1.1
Borough	1.1
Kennington	1.4
London Bridge	1.5
Waterloo	2



Sustainable and wellbeing focused industrial building.

Up to 167,660 sq ft of flexible industrial / warehouse floorspace available.

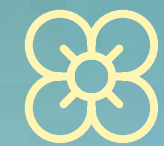
Designed for world class logistics, Southwark Urban Logistics includes an impressive arrival experience and reception space, under cover service yard for 24-hour operations, shared breakout space with meeting and lounge area and a sustainable approach to building amenities.



Targeting BREEAM 'Outstanding'



2 MVA building power capacity



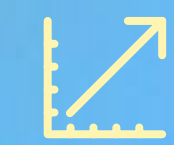
Targeting EPC A+



Reception / welcome desk at main entrance



PV array potential to generate circa 315kW peak



Shared yard



Ecological features



6 fast car charging points and 6 rapid van charging points



Communal terrace



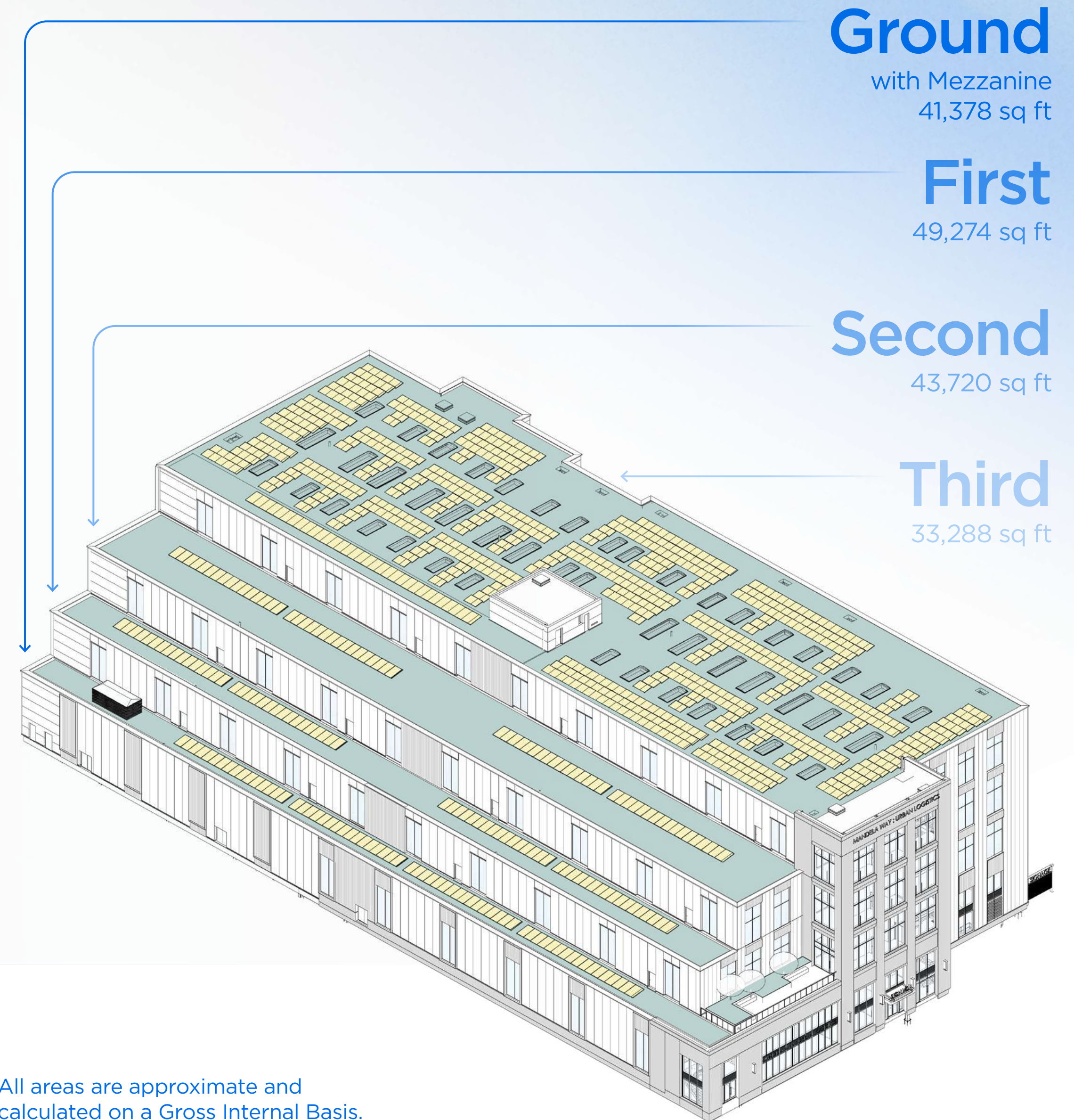
Sprinkler system



52 dedicated cycle parking spaces



Office finished to shell and core specification for tenant fit out options



Ground Floor

32,411 sq ft.

The ground floor features two entrances: one for pedestrians/employees on Dunton Road, and another for goods vehicles and cargo bikes on Mandela Way. It includes a covered yard with level and dock-level loading, separate lifts for cargo bikes and heavy goods, and 52 cycle spaces. The warehouse offers 50kN/m² floor loading and a mezzanine office.



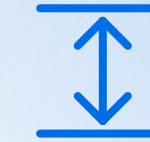
2 level access, 4 lift level access & 3 dock level loading doors



10m x 10m Column spacing



Three 8 person passenger lifts & Three 10 person passenger lifts



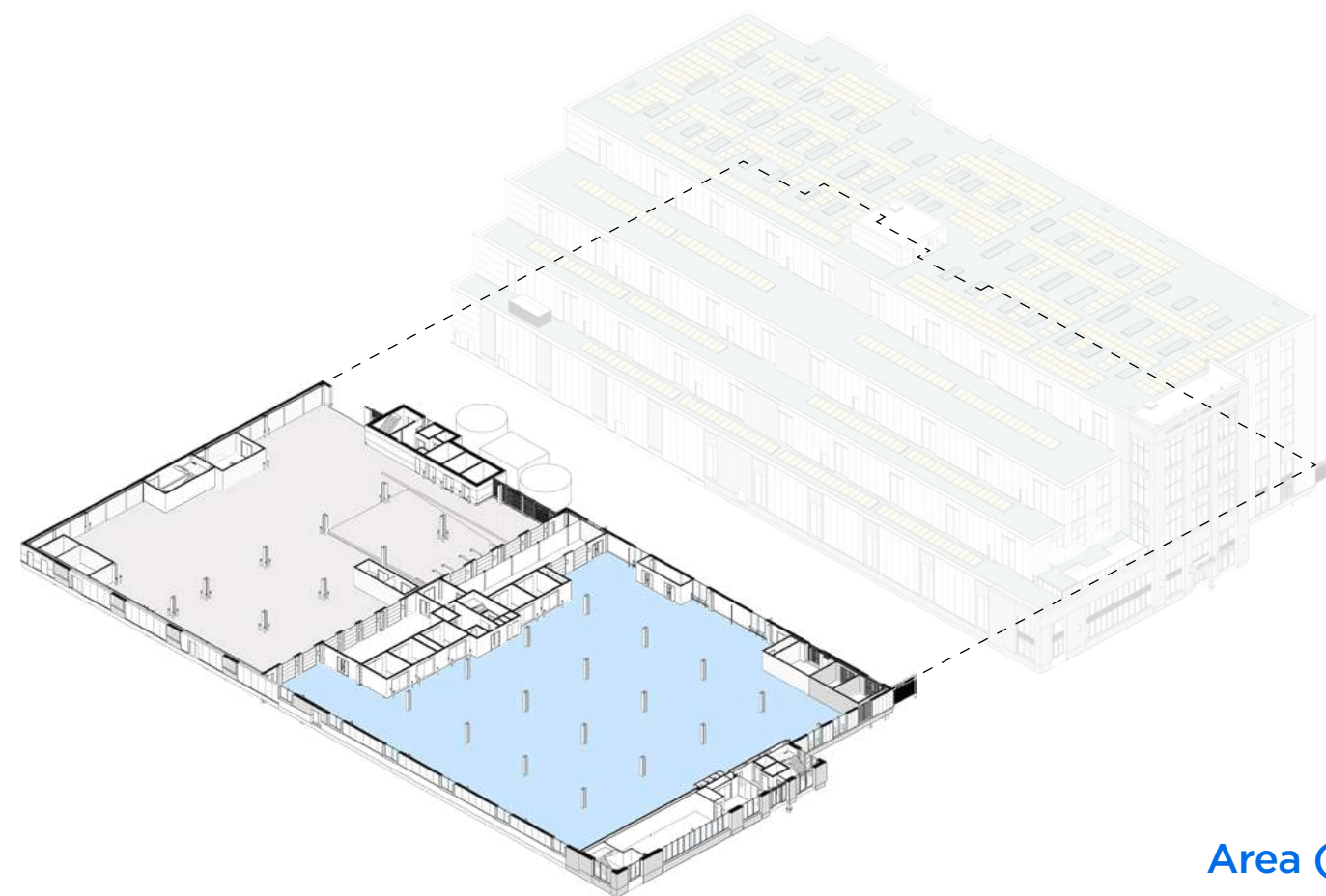
6m Minimum clear height



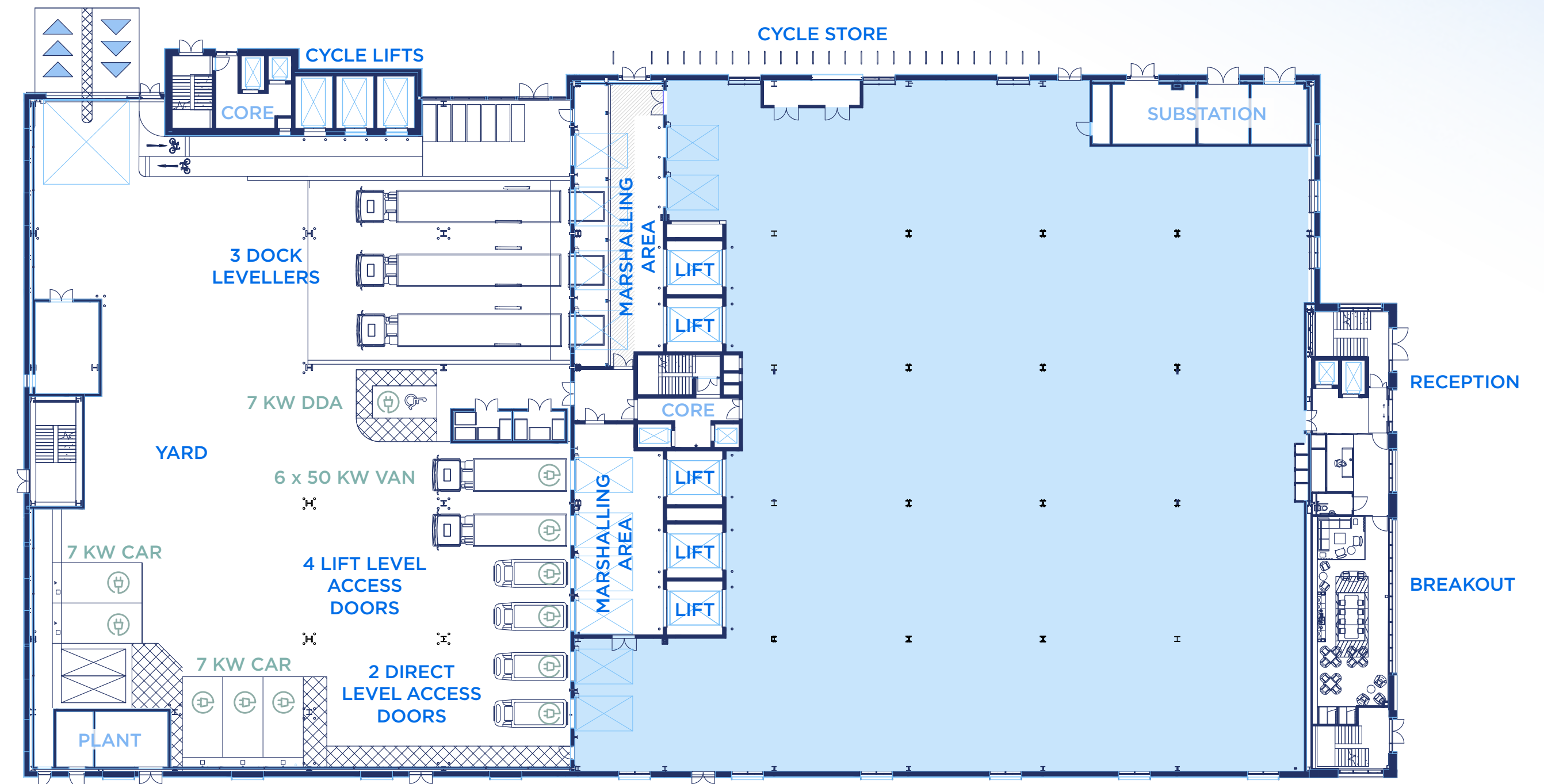
Five 5.4 tonne heavy goods lifts & Three 3.5 tonne cargo bike lifts



50kN/m² floor loading



Floor	Area (GIA)
Third	33,288 sq ft
Second	43,720 sq ft
First	49,274 sq ft
Mezzanine Office Area	7,708 sq ft
Ground	32,411 sq ft
Reception + Breakout Area	1,259 sq ft



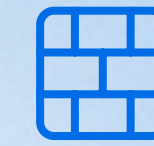
Mezzanine Office Level

7,708 sq ft.

The ground floor industrial unit has its own mezzanine office space, adaptable to meet the needs of the main industrial operation. Accessible via stairs or lift, the mezzanine space can be adapted to include shower facilities, kitchenette, and a flexible working environment.



Office finished to shell and core specification for tenant fit out options



Exposed concrete ceiling



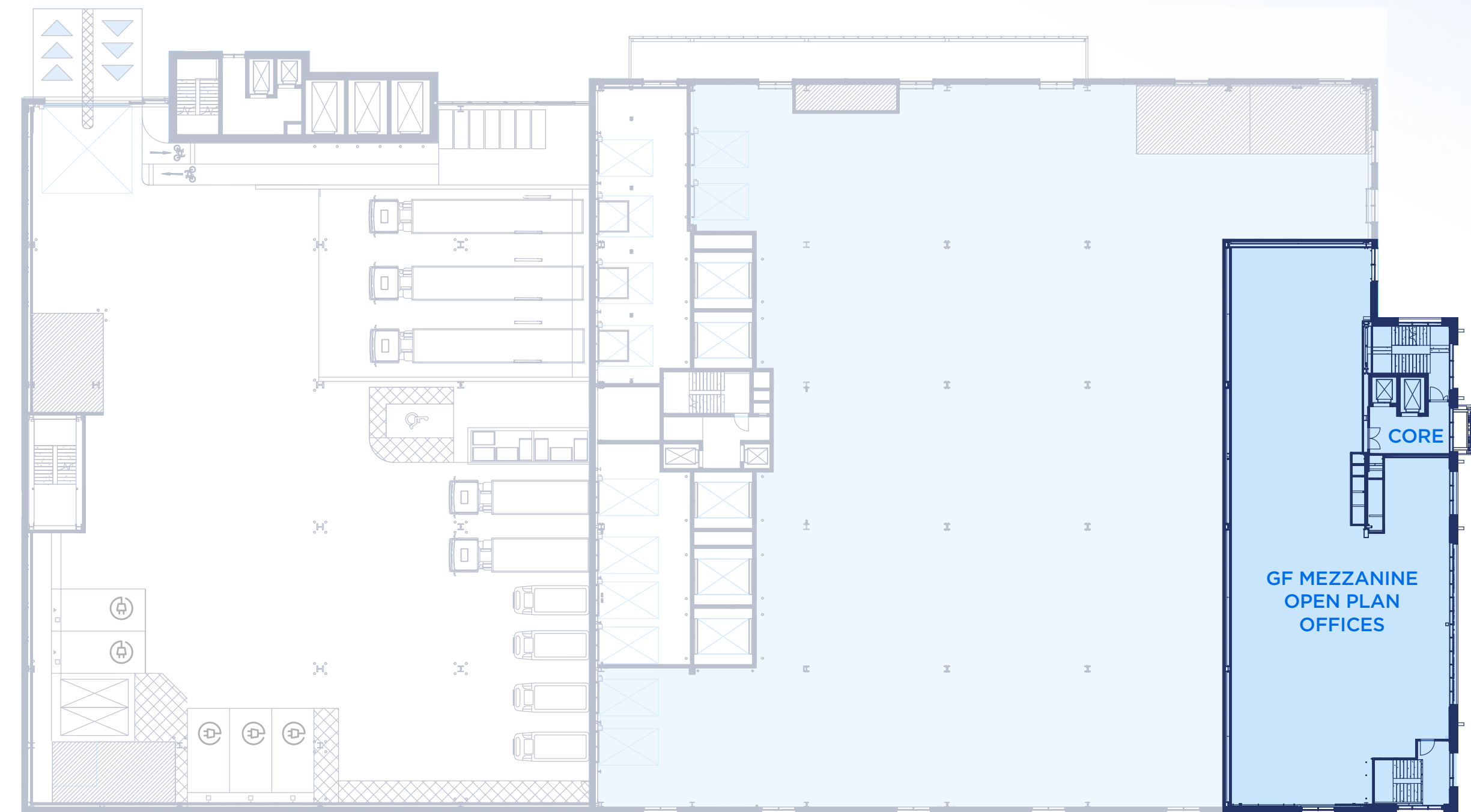
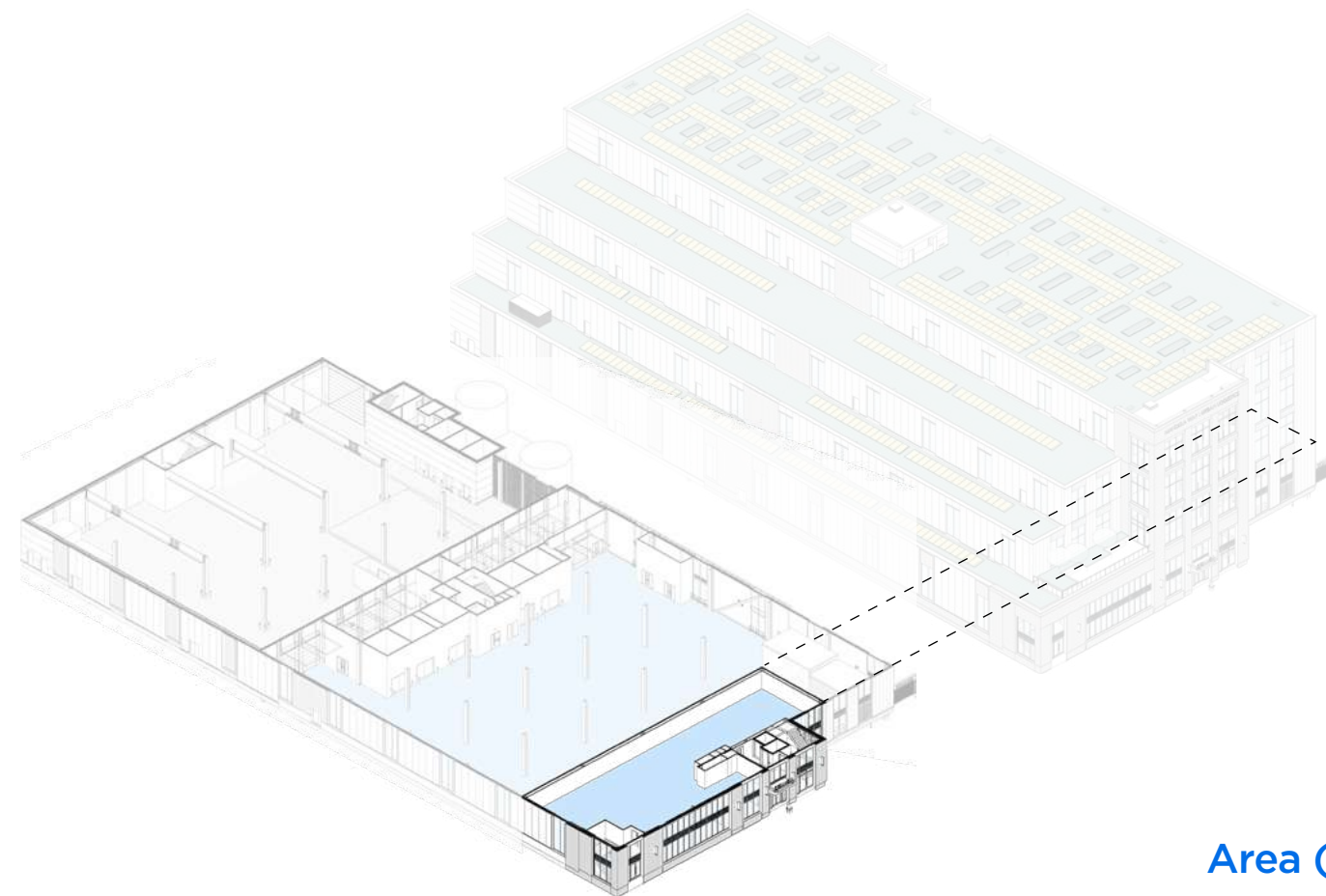
2.5kN/m² floor loading



Extensive natural light



Passenger Lift

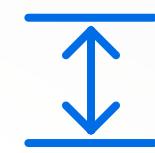


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First Floor

49,274 sq ft.

Goods arrive on the first floor via a bank of central industrial goods lifts - designed to service the entire space. Separate cycle lifts for goods dispatch are also available, for smoother delivery operations.



4m Minimum clear height



10m x 10m Column spacing



Five 5.4 tonne heavy goods lifts & Three 3.5 tonne cargo bike lifts



25kN/m² floor loading



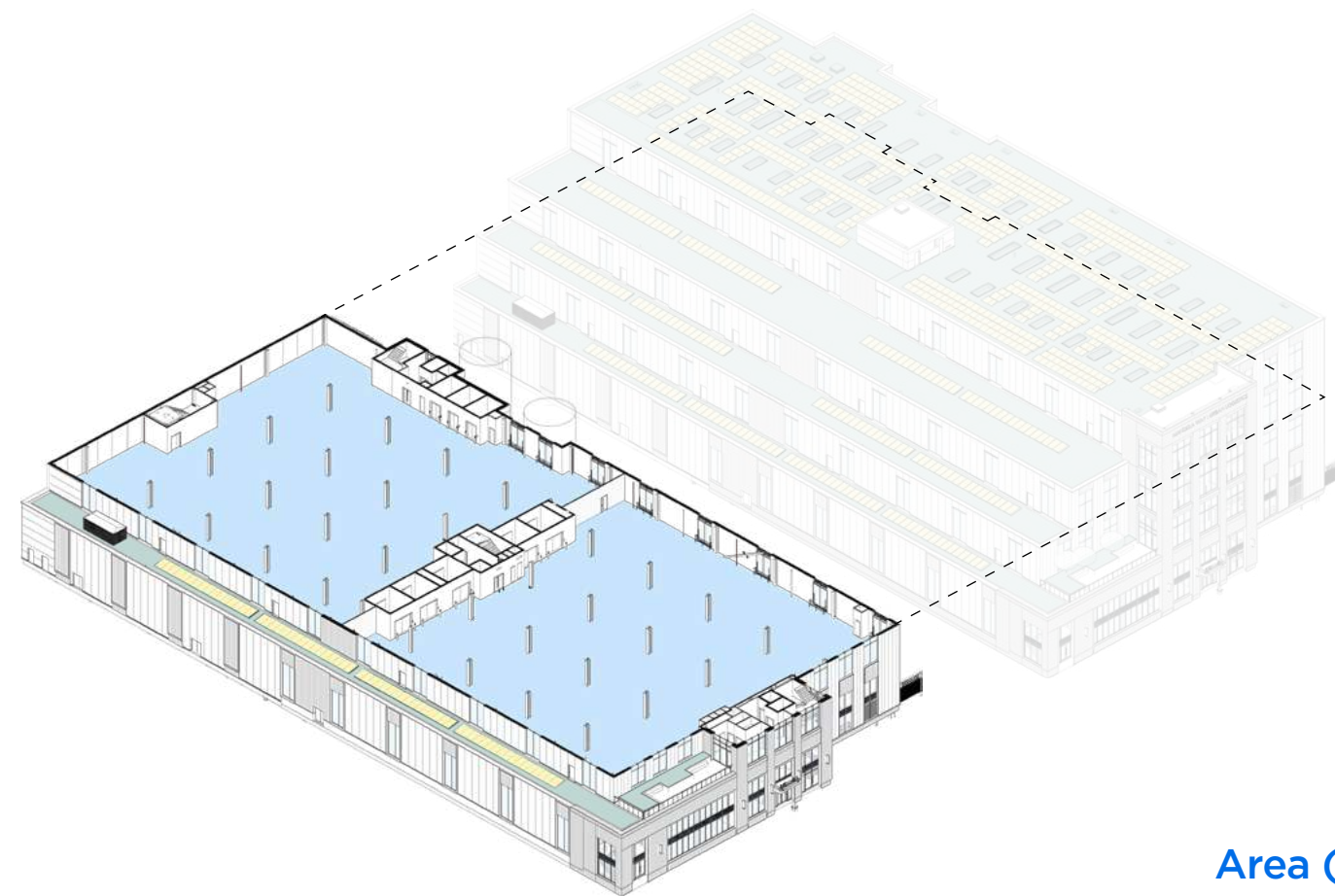
2 WCs and ability to install more



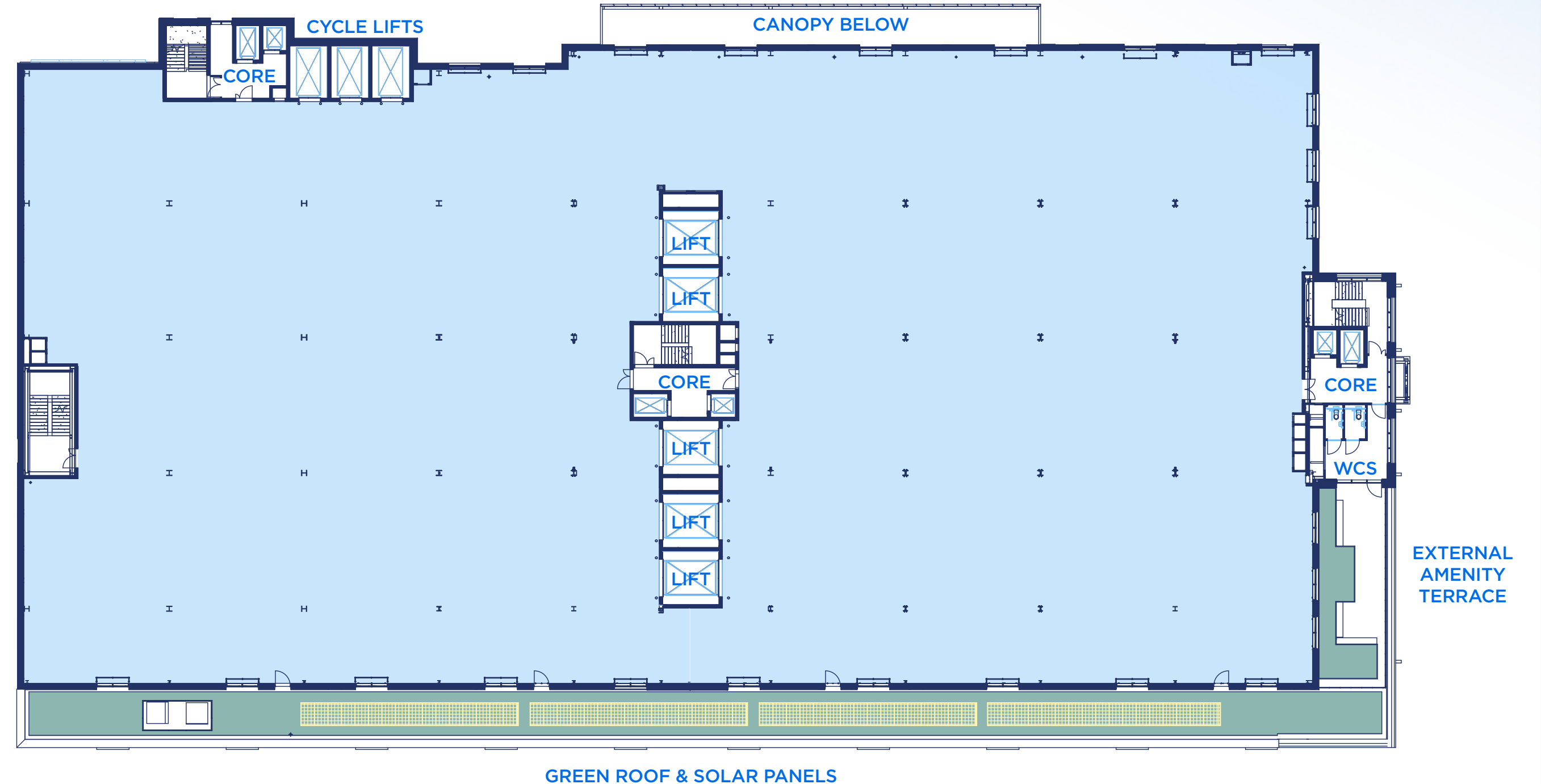
Three 8 person passenger lifts & Three 10 person passenger lifts



Extensive natural light



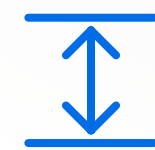
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Reception + Breakout Area	1,259 sq ft



Second Floor

43,720 sq ft.

Goods arrive on the second floor via a bank of central industrial goods lifts - designed to service the entire space. Separate cycle lifts for goods dispatch are also available, for smoother delivery operations.



4m Minimum clear height



10m x 10m Column spacing



Five 5.4 tonne heavy goods lifts & Three 3.5 tonne cargo bike lifts



15kN/m² floor loading



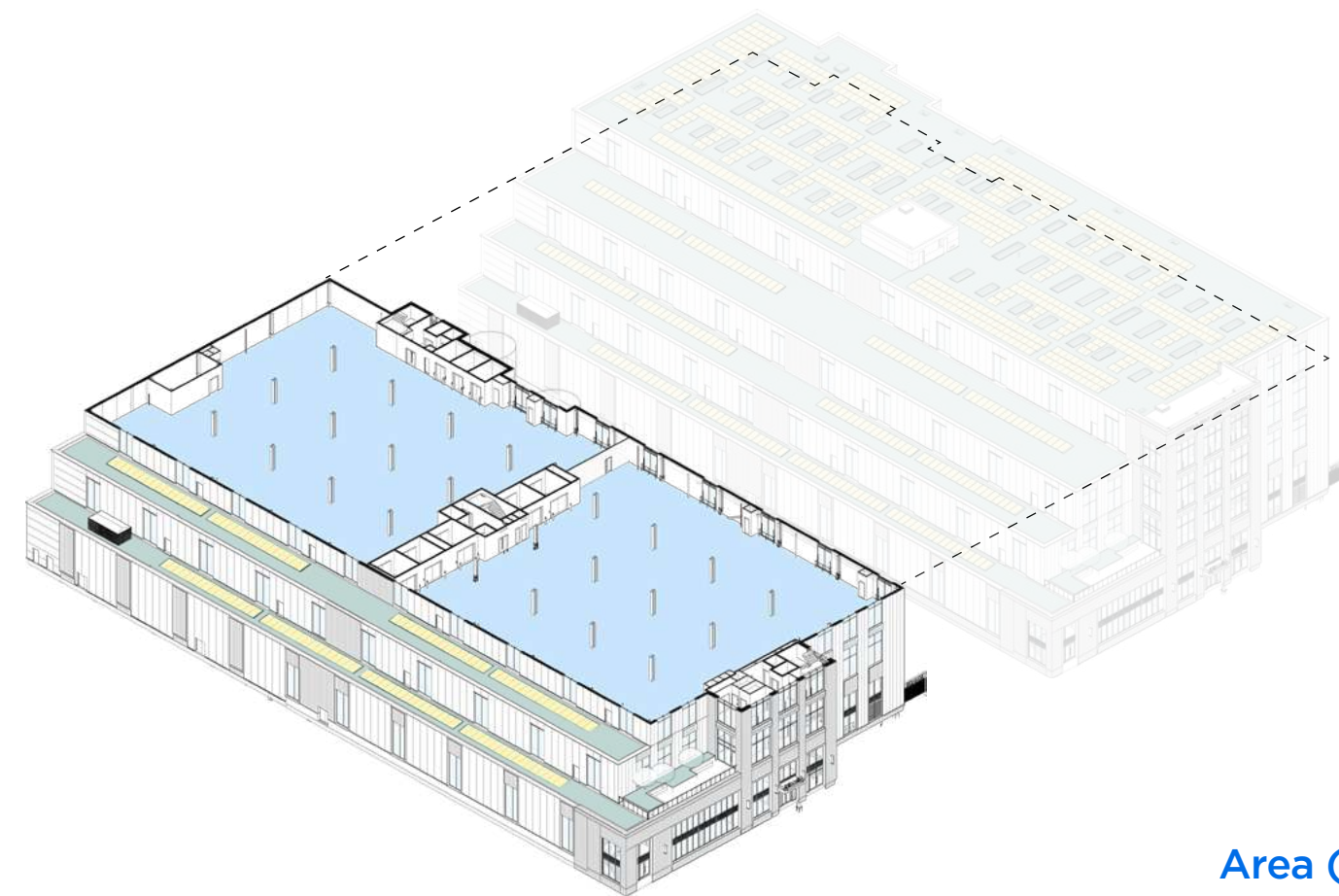
2 WCs and ability to install more



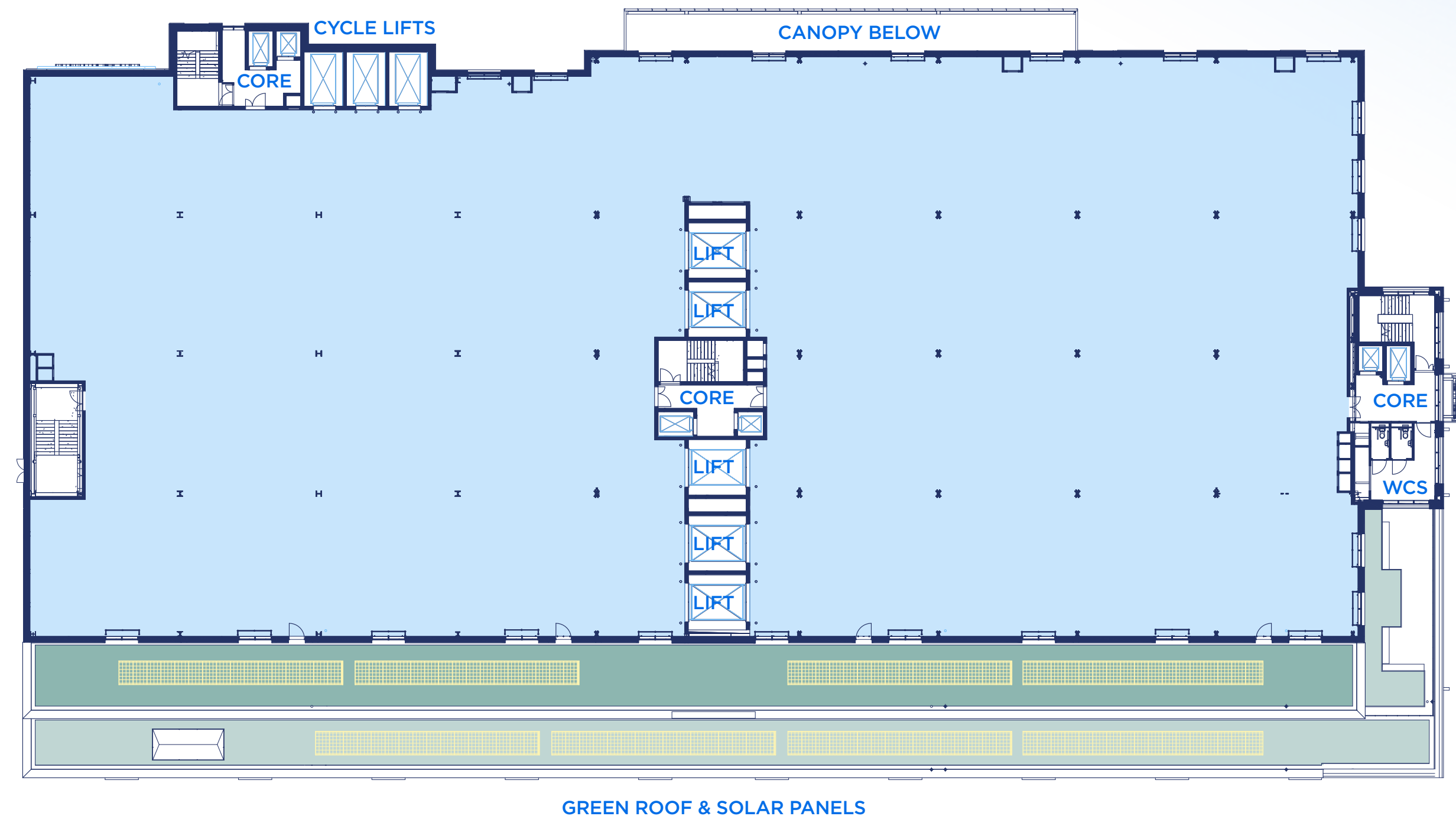
Three 8 person passenger lifts & Three 10 person passenger lifts



Extensive natural light



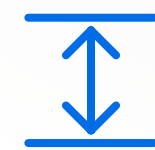
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Ground	32,411 sq ft
Reception + Breakout Area	1,259 sq ft



Third Floor

33,288 sq ft.

Goods arrive on the third floor via a bank of central industrial goods lifts - designed to service the entire space. Separate cycle lifts for goods dispatch are also available, for smoother delivery operations.



4m Minimum clear height



10m x 10m Column spacing



Five 5.4 tonne heavy goods lifts & Three 3.5 tonne cargo bike lifts



15kN/m² floor loading



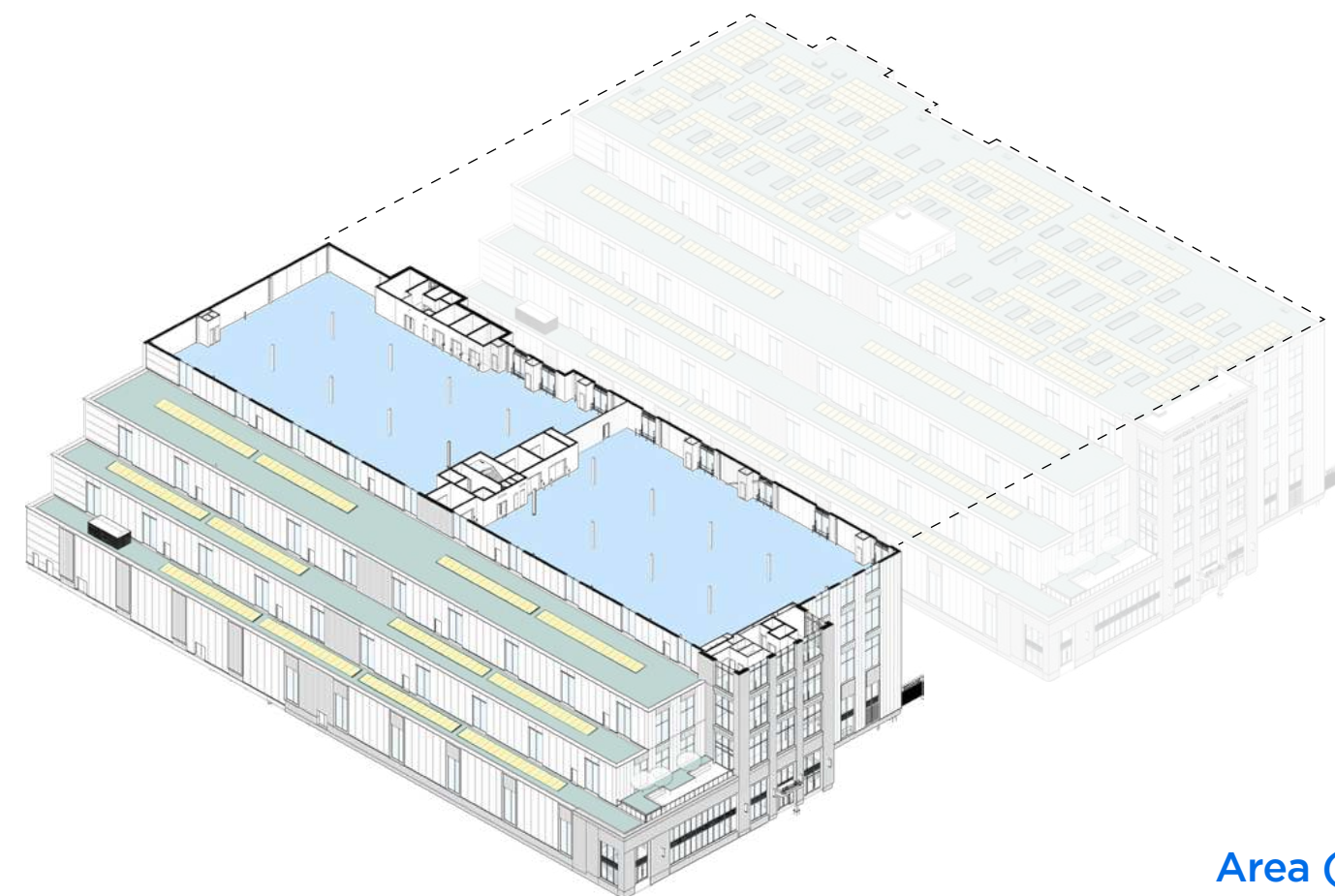
2 WCs and ability to install more



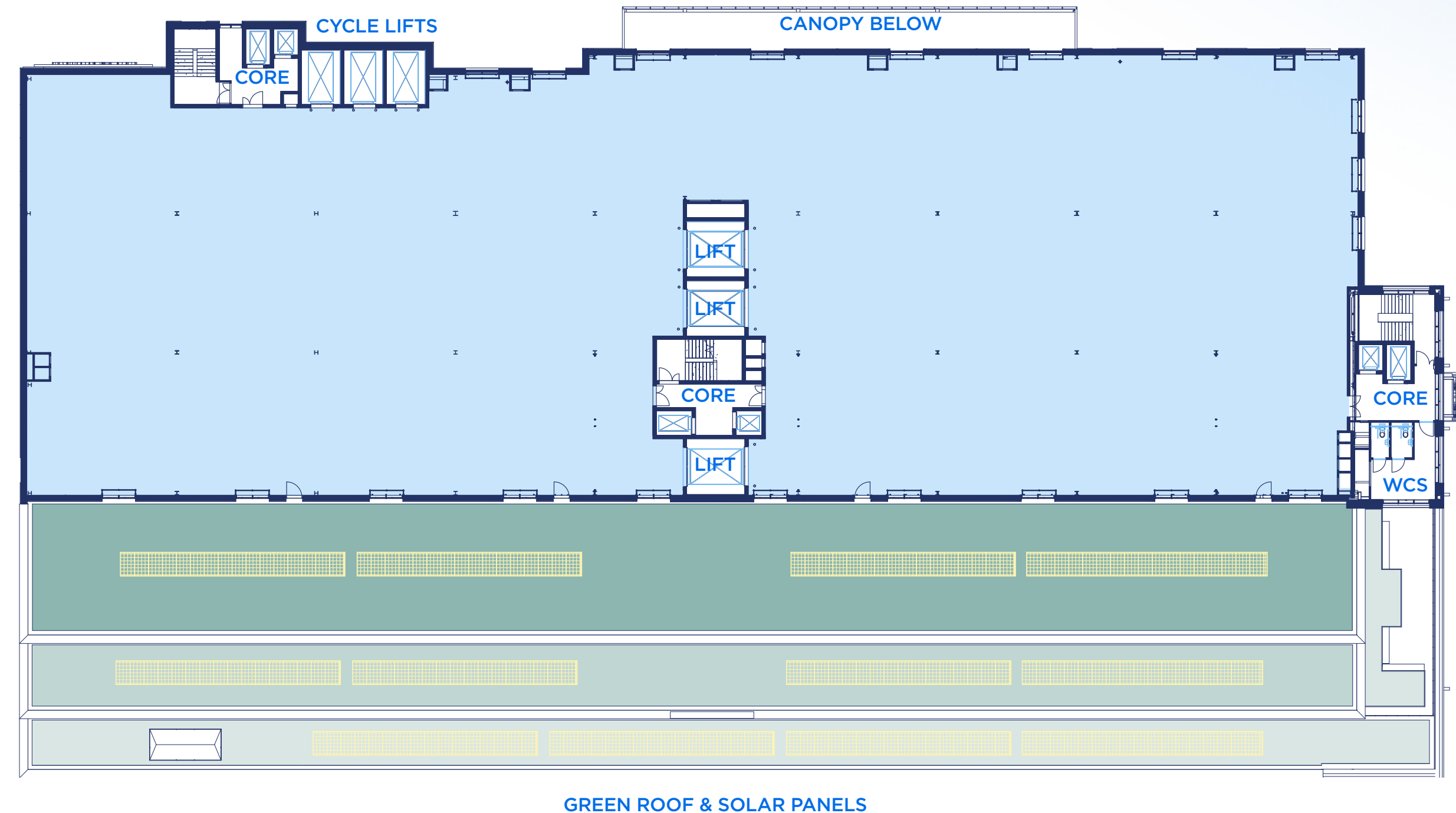
Three 8 person passenger lifts & Three 10 person passenger lifts



Extensive natural light



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Key demographic and employment statistics for Southwark and London.



810,796

Number of residents within a 15 minute drive time



347,323

Number of households within a 15 minute drive time



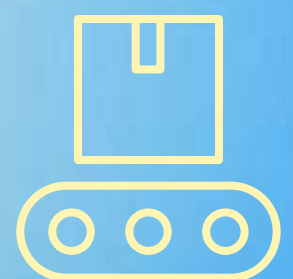
67%

Of the local population are economically active



626,519

Working-age population 626,519 - over 12% higher than the UK average



29%

Of the local population are suited to warehouse / logistics work





Faster, cleaner & more efficient.

Southwark is optimised for sustainable delivery methods: electric vehicles, cargo bikes, and by hand. These are proven to cut delivery times, distance and carbon footprint: better for your deliveries, and better for London and the planet.

Electric & cycle power vs conventional vans

Quieter
Virtually zero noise pollution



11–20%
Shorter distance travelled



55–97%
Lower carbon emissions



55–90%
Carbon savings per parcel



Removes
Up to 100 legacy vans from London's streets



60% faster
When using cargo bikes over vans





London
Urban Logistics

Flexible

Flexibility to subdivide floor plates based on occupier requirements.

Terms

Units available by way of a new lease on terms to be agreed.

GET IN TOUCH, WE'RE READY TO DELIVER



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